

Architectural Standards & Guidelines





Architectural Standards

Introduction and Design Philosophy

In order to achieve the highest quality of development and construction and to ensure lasting value within the Spyglass Ridge community, all property Owners within the Spyglass Ridge Community will benefit from the application of certain architectural standards and standards. These standards and standards have been adopted by the Architectural Control Committee (ACC) and are intended to facilitate harmony from one dwelling to another and from each dwelling to the surrounding landscape. Further, it is the purpose of these standards to promote good design, quality of workmanship, the appropriate use of materials and the thoughtful selection of colors. The ACC wishes to preserve as much individual freedom of design as possible for each Owner without diminishing the overall quality and harmony of the community.

The Spyglass Ridge design philosophy is derived from the physical characteristics found within the Grand Valley area which includes broad horizontal land masses contrasted with flat valley floors and accented with vertical rock outcroppings. Housing within the context of this natural setting should complement the landscape in terms of massing and design and respond to its climatic conditions using enduring, low maintenance materials and building elements designed for the high desert environment.

Therefore, broad horizontal roof lines that emulate the horizontal nature of the terrain that, provide shade against the sun and that shed rain with finish materials that reflect the subtle colors of the indigenous landscape are preferred over clipped eaves, steeply peaked roofs and brightly colored finishes. Strong, substantial columns and supports that indicate permanence and quality are preferred over thin, weak-appearing supports. Mixing of materials, textures and colors that add value and reinforce the architectural style of the house is recommended. Use of sustainable building practices including energy efficiency, resource conservation, and material recycling and conservation is strongly encouraged.

Floorplans and Elevations:

Filings 1 and 2:

Builders with popular floorplans may build the floorplan more than once; but will be guided by the ACC to change up the exterior elevations via rooflines, entries, window styles, stone type, stucco color, outdoor lights, etc. in order to maintain exterior variety. Builders will also be encouraged to utilize the individuality of each lot to capture views and create uniqueness. Under no circumstances will identical floorplan be allowed next door to each other.

Filing 3:

Filing 3 was originally designed to have repeat floorplan and exterior elevation designs; and builders may choose to have a set color pallet of stucco, stone and trim. However, color pallets and designs may not be used immediately next to each other.

1) Building Setbacks and Minimums:

- a) All Lot corner monuments have been set to establish dimensions for the required building setbacks. Building setbacks and specific building envelope requirements must be adhered to as identified on the Recorded Special Building Lot Considerations for each of the three Filings.
- b) No principal Dwelling shall be nearer than 20 feet to any other principal Dwelling on an adjacent Lot in Filing No. One and Filing No. Two. In Filing No. Three, no principal dwelling shall be nearer than 10 feet to any other principal Dwelling on an adjacent Lot.
- c) The total finished living area of any main structure shall be a minimum of 1800 square feet for single

story dwellings and a minimum of 2000 square feet for two story types, excluding open porches, garages, and basements for Lots in Filing No. One and Filing No. Two. For Filing No. Three, the total finished living area of any main structure shall be a minimum of 1,450 square feet for single story dwellings and a minimum of 1,600 square feet for two story types, excluding open porches, garages, and basements. All measurements shall be on an outside dimension of the wall.

2) Geotechnical Requirements:

Prior to commencement of the construction of any improvements on any Lot, the owner shall submit written confirmation from a Colorado licensed engineer of compliance with the requirements regarding foundation, drainage and grading of the Grand Junction Lincoln DeVore Subsurface Exploration Report dated April 1, 2005 for Filing No. One, or December 21, 2005 for Filing No. Two, or October 24, 2006 for Filing No. Three, a copy of which is available on the Spyglass Ridge HOA Website and made a part of these standards. The compliance with the requirements shall include but not be limited to a minimum 6-foot depth exploratory excavation pit to allow site specific geotechnical soils reports. The written confirmation of compliance with the requirements shall be submitted to the ACC along with the balance of the architectural plans and specifications required. No construction shall commence without written approval by the ACC.

3) Roofs, Patio, Deck and Trellis Structures:

The roofs shall have a minimum pitch of 3 in 12 and a maximum of 8 in 12 pitch except for flat roofs approved by the ACC. Roof materials shall be covered with either premium asphalt shingles, earth-tone color tile and/or built-up and single ply membrane roofs where approved by the ACC. Mission red tile roofing is prohibited along with brightly colored tile roofs, specular, white or predominately light colored roofing materials of any type. Hipped-roof style and character are encouraged along with a harmonic and integrated roofscape. Large gable ends will not be accepted in Filings No. One and Two. In Filing No. Three, large gable ends will be accepted with the use of wood board and baton, vents or false window detailing to break up expanse. All patio structures installed shall blend with and compliment the principal Dwelling. No plastic patio roofs shall be allowed. Wood grained aluminum roofs will be considered on a case by case basis. All attached or detached trellis or exterior deck structures shall require ACC approval. Deck or trellis vertical posts and supports shall be a minimum 6 inches square although larger support sizes are encouraged.

Roof Design:

- Roof forms should provide for a horizontal, human scale, with modest accents in height.
- Combinations of hip and gable roofs are encouraged. Roof lines should cascade into the foreground as projected from the primary building wall surface.
- See Diagram #1.

Roof Finish Materials:

- Composite “architectural” grade shingles with deep shadow lines and texture are preferred. A minimum 30-year durability rating is allowed, 40 year or more preferred to provide more shadow profile.
- Tile roof finishes are encouraged. Barrel and flat are acceptable.
- Color: Roof colors should complement house colors. Variegated color patterns are preferred with a minimum 1/3 to 2/3 color mix ratio. Solid color roofs are prohibited.
- Copper metal accents are encouraged
- Any solar panels must be located on the roof plan submitted. Panels should maintain a uniform pattern and conform to the roof shape. Non-reflective panel material is required.
- See Diagram #1

Eave Projection, Fascia and Soffits:

- **Roof eaves shall be a minimum of 24 inches in depth in Filings No. One and Two. In Filing No. Three, roof eaves shall be a minimum of 12 inches in depth.** Exceptions may be approved by ACC.
- **Fascia shall be at least 8 inches in width and provide double trim layers or gutter in lieu of the second layer of trim** for maximum shadow line effect. All gable fascia must have double trim layer.
- Soffits may be finished with wood, stucco, manufactured hardboard or metal soffit materials including vents. Color to match field or fascia colors.
- See Diagrams #1 & #2 for required minimum dimensions and suggested scale.

Windows and Doors:

- Window and door design and detail shall be consistent and aligned in their horizontal and vertical elements.

4) Building Height & Design:

Height restrictions will be in accordance with Paragraph 4.1. Building height means the distance measured from the first floor finished elevation at the front door entry level (not to exceed 40 inches above the main level top of concrete foundation at the front door) to the highest possible point of a structure *except* that chimneys, flues, vents or similar structures may extend 2 feet above the specified maximum height limit subject to ACC review (see Exhibit A for minimum and maximum allowed top of concrete at main level and allowed house type). Reasonable effort shall be made to incorporate front elevation design elements that break up the roof and façade at the rear of all homes.

The ACC intends to discourage and has the right to prohibit the construction of any Dwelling or other structure which would appear excessive in height when viewed from the roads, drives or other Lots.

4.1)

House Type # Stories Maximum Building Height A One (1)* 24 Feet (22 Feet for Ridgeline Mitigation for lots 67 thru Lot 78 on Plat) B Two (2) 28 Feet C One (1) 24 Feet (Main Level) (with walkout basement) *Exception: The construction of a Home Type “A” may be allowed to have a second story no greater than 30% of the total livable area of the home’s main level (excluding decks, covered patios, garages, etc.) which meet the following requirements:

- The total height of the structure shall not exceed that listed in Paragraph 4.1.
- The second story mass shall be centralized to the overall building plan and profiles.
- The building shall be in compliance with other aspects of these Architectural Standards, specifically including harmonic and integrated roof lines.
- The second story inclusions shall be specifically approved by the ACC.

Color:

The color of all exterior materials shall be subdued earth tone colors that will blend with the colors of the natural landscape. Muted earth tones, primarily in hues of heather, brown, tan, or warm gray, are recommended, however, occasional accent colors used judiciously and with restraint may be permitted. Other color schemes may be approved that are consistent with these color ranges. Use of white exterior windows, doors, and soffits are prohibited. Only one color for each of the field and trim is encouraged.

Garage doors shall match the primary field color or trim color. All window and gutter/downspout colors shall be submitted for ACC approval. Exterior trellis structures, deck railings, spindles and visible deck trim boards shall be stained or painted to blend or compliment the field color of the house or left un-

treated to weather naturally. Colors which unduly contrast with the surround landscape may be prohibited by the ACC.

6) Exterior Surfaces & Materials:

Exterior surfaces shall be generally of natural appearing materials such as stucco and stone that blend and are compatible with the natural landscape. Reflective materials and surfaces are prohibited. Low “E” glass is allowed. Siding material is discouraged but may be allowed for specific small accent areas subject to ACC review and approval. Metal or vinyl siding is prohibited. Metal soffit may be allowed subject to ACC approval and, if approved, must be installed in a professional manner without “dimples” or “oil canning”. The use of exterior masonry materials of approved stone shall cover at least 30% of the area calculated for the first-floor front street façade excluding windows, doors, and garage doors. Column bases shall count as part of the 30% requirement. All corner lot Dwellings shall comply with this minimum requirement for all façades facing both street orientations. All side lot facades shall have the masonry wrapped around the corner a minimum 3.0 feet from the edge of the front façade. In the event of damages or changes to the exterior finish and/or fixtures (including, but not limited to stucco, lighting, gutters, landscaping and fencing), said finish/fixtures shall be repaired or replaced within thirty (30) days of damage or change. Failure to do so will result in the lot being out of compliance and mandated penalties will commence.

Stucco:

- Type: Traditional or synthetic.
- Coverage: A majority of the exterior finish on a home shall be stucco. Accent materials shall also be provided per the standards and approved by the ACC.
- Colors: Muted earth tones. Darker tans and warm grays primarily.
- Textures: Stucco texture shall be approved by ACC. Heavy, defined stucco textures are preferred; fine sandy finishes are discouraged.
- Banding/Eyebrows: Banding and eyebrows around windows and doors is required and may be used to accent a building or column base and around garage doors. Ornamental banding may be approved by ACC. Ornamental banding should avoid a “contrived” design pattern, such as an animal or plant figure, false key stones and false niches. Door and window bandings must be a minimum of 4” in width, with 6” being preferred. Eyebrows/headers/lintels should be a minimum of 8”, up to 12”.
- See Diagrams #1, #4 & #5.

Stone:

- Type: Natural or synthetic (cultured) stone is acceptable.
- Coverage: At least 30% of the street (front and side if on a corner lot) façade area calculated for the first-floor front street façade, excluding windows, doors, and garage doors. Stone elements on the rear of the building are encouraged.
- Design use: The stone shall be used to accent projected architectural features (such as bays, insets, etc.), to form a structural base line for the home grounding it to the site and on columns (either the entire height of the column or to form a structural base). Historically, stone has been used as a structural material in construction; therefore, the application of stone in a design should convey an appearance of being structural rather than contrived. Contrived uses, such as a door or window trim, decorative infill in wall niches, spotted applications attempting to replicate a worn-through “old world” stucco wall and uses which by common sense indicate a non-structural appearance are prohibited.
- Logical termination: Stone wainscots, column bases, and other architectural uses shall be provided with a logical termination, horizontally and vertically. Horizontal terminations shall be into an

architectural element such as a window, pilaster, wall or the like. Vertical terminations shall be into an architectural band or cap stone.

- See Diagrams #1, #2 & #3 for required minimum dimensions.

Brick:

- Use of brick is prohibited.

Wood Accents:

- Cedar siding, peeled logs, exposed rough sawn timbers, beams, braces, rafter tails and similar applications are encouraged with appropriate protective measures (stains and sealants).
- Hardboard (cement fiber), vinyl, metal and other siding materials that emulate wood are prohibited.
- See Diagrams #4 & #5.

7) Accessory Buildings:

All accessory/storage structures shall be attached to and incorporated in the principal dwelling and must be located within the rear or side building envelope. Walls and roof material and color shall be the same as the principal dwelling. Accessory/storage buildings must be approved by the ACC. No free-standing accessory buildings are allowed.

8) Trash Enclosures/Flag Poles/Basketball Boards/Gazebos:

a) All permanent trash enclosures shall be attached to the principal Dwelling and shall be screened from public view.

b) A temporary trash container of adequate capacity shall be required for construction waste and shall be properly maintained during the entire construction period and adequately covered with a secured tarp at night.

c) Basketball boards, satellite dishes, gazebos and all other structures not specifically noted in the ACC standards require ACC approval, including but not limited to, location, design, color and height. In any case, gazebos shall be within the rear portion of the lot. Satellite dishes must be located on the roof of the principal dwelling.

d) The materials, height and location of flagpoles must be approved by the ACC. A maximum of two (2) standard flag brackets may be attached to the front or rear of the Dwelling. Flags are limited to a maximum of 3' x 5' and may not touch the ground. If an American flag is flown, homeowners will follow standard flag etiquette regarding lighting, handling, and care.

9) Building Projections:

a) No roof mounted mechanical equipment shall be allowed.

b) All electrical, venting, or mechanical projections from the residence that do not match the house color, including, but not limited to chimneys, flues, vents, gutters, downspouts, utility boxes, gas meters, exterior outlets, decks, porches, railings and exterior stairways shall be painted or stained to match or blend with the color of the surface from which they project, or shall be painted an approved color.

c) Building eave projections shall not exceed more than three (3.0) feet beyond any setback restrictions. All main entry porch setback encroachments shall be subject to the City of Grand Junction regulations.

d) All gas and electric meters and utility panels shall be located at least six (6) feet back from the front yard corner of the principal Dwelling and painted to match the adjacent wall surface.

e) Building eave projections shall not exceed more than three (3.0) feet beyond any setback restrictions. All main entry porch setback encroachments shall be subject to the City of Grand Junction regulations.

10) Site Drainage and Grading:

- a) **A site drainage and grading plan shall be prepared by a Colorado Licensed Engineer.** This plan shall be developed so as to minimize disruption to the natural drainage patterns of the Lot. Discharge shall not be directed to adjoining Lots, unless approved by the ACC, nor shall any condition be created that could lead to soil erosion on the Lot or adjacent lots, Common Areas or Open Spaces. All lots shall be regraded to maintain the original drainage pattern and flows with Type A, B or C patterns, as provided in the Construction Drawings by Thompson Langsford of Grand Junction dated 7/21/05 for Filing No. One or 4/15/06 for Filing No. Two or by River City Consultants, Inc. of Grand Junction dated 5/14/07 for Filing No. Three. See Diagram #8 for drawings of potential grading/drainage types.
- b) The Owner and Owner's contractors are required to prevent any erosion to occur along the bluff line of each Lot adjacent to the bluff and escarpment areas or any area beyond property lines. Black silt fencing must be installed on both sides and rear of lot prior to any construction, and maintained throughout entire construction period, per City of Grand Junction Storm Water Management Plan (SWMP) Regulation, Section 13.28.030. Straw barrier mats shall be used when needed on slopes.
- c) No excavation or disruption of natural vegetation shall be allowed on the slope below the natural escarpment line for all Lots adjacent to the bluffs area. (Bluff lot as defined in in paragraph 8d.) No stacked boulder type walls or boulder type retaining walls will be allowed on the escarpments of Bluff Lots which overlook other building lots, sidewalks, or streets below; even if there is a common area buffer between them. To minimize erosion, a poured wall or some other solution must be presented for ACC consideration.
- d) A required minimum to maximum top of foundation elevations are noted in Exhibit A to these standards and shall be adhered to and noted on the site plan and architectural plans submitted to the ACC. Variances may be granted by ACC to accommodate improved drainage on lot and/or adjacent improved lots.

11) Garages & Driveways:

All dwellings are required to have enclosed garages to accommodate a minimum of two cars and a maximum of three cars, plus concrete surface for additional cars, which must also be used for garage access from the street. In addition to a concrete surface, driveway pavers are also acceptable. A sample photo of the product to be used must be submitted to the ACC at the time of application. Installation of the pavers must be done per manufacturer recommendations. If stained or stamped concrete designs are to be used those designs and the colors must be submitted to the ACC for approval at the time of application.

Visual impact of garage doors shall be minimized by such measures as, but not limited to siting of the Dwelling, garage orientation to the structure, protective overhangs, projections, special door facing materials, architectural design and /or landscaping. No garage door shall exceed ten (10) feet in height. If a three-car garage is planned, a minimum building offset of 2.5 feet shall be required between the one car bay and the remaining two bays. **The color of the garage door shall be the same as the primary stucco field color or the primary trim color of the house. Natural wood or wood grain metal doors will be considered on a case by case basis.**

LOTS 100, 101, 102, 179, 180 & 181:

Do not have street parking available to them. These lots are allowed to install an additional concrete or paver parking pad next to their driveway. The design and size of the parking pad must be approved by the ACC.

12) Foundation Walls:

Any exposed foundation walls shall be painted or finished to match the upper exterior field color of the

Dwelling unit. Exposed foundation walls shall not exceed 12” in height unless approved by the ACC.

13) Exterior Mechanical Equipment:

All exterior ground level mechanical equipment, including but not limited to HVAC condensing units, shall be either incorporated into the overall form of the Dwelling or be permanently screened from public view by a material approved by the ACC. In addition, the incorporation of plant materials or other landscape elements is encouraged.

14) Exterior Lighting:

Decorative, building lighting shall not have lamps (bulbs) exceeding 40 watts and shall not cause unreasonable glare when viewed from the street, adjacent property, or common areas. Glazing in lighting fixtures shall be frosted, smoked, screened or louvered so as to minimize glare to the greatest extent possible. Exterior building down lights shall be encouraged to minimize or eliminate light source glare. Manufacturer’s colored light fixture cut sheet shall be provided with application.

15) Realtor/Builder Signs and Pennants:

All realtor and builder signs shall comply with the recorded Covenants, Conditions and Restrictions and the current HOA “For Sale” “For Rent”, and Other Signage Policy and Procedure.

16) Recreational Vehicle Screening/Enclosures:

Storage of all of recreational vehicles shall strictly comply with Paragraph B) 2) of the First Amendment to the Declaration of the Covenants, Conditions and Restrictions of Spyglass Ridge Subdivision and shall be approved by the ACC.

17) Regulatory Entities:

All construction and improvements shall comply with pertaining rules and regulations of the City of Grand Junction and other regulatory entities; nothing contained herein shall be construed to constitute a variance thereof. All construction and improvements shall be in accordance with ACC approved plans and specifications.

18) Double Lots:

Side setbacks will be 20 feet from the property lines on both sides with the option of an exception on one side if a “side-load” garage is part of the design. The front and rear setbacks will remain the same as single lot properties. The number (3) of garages and their door height will remain the same – but “tandem” (2 vehicles deep) garages are allowed. Double lots will require double the amount of appropriate landscaping. There will not be any maximum size restrictions on these homes (minimums still apply). The ACC committee will review each plan individually and decide whether the design meets specifications and the spirit of our standards.

19) Compliance:

No applications will be accepted or approved if this property or other properties owned by the submitter are out of compliance; including (but not limited to) past due assessments, fines and liens.

20) Model Homes:

- A model home is one that:
- Is staffed and open regular hours on a weekly basis (hours to be determined by builder)
- Completed and furnished

- Has received a Certificate of Occupancy
- Has installed front landscaping

21) Fencing: (Can be found under FENCE STANDARDS & APPLICATIONS)

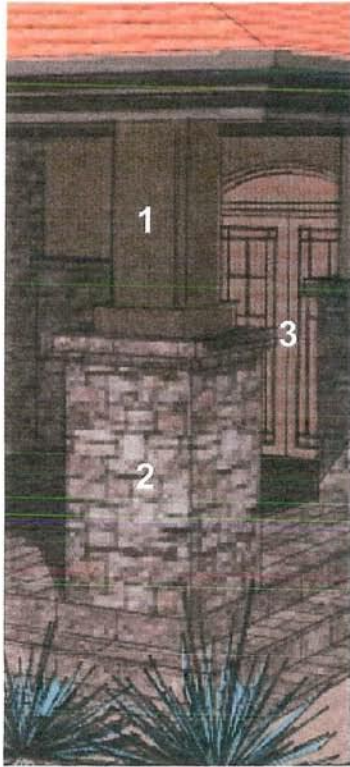
Notes:

- 1) Low pitch roof (3:12 to 8:12 slope).
- 2) Cascading roof lines into foreground.
- 3) Horizontal, human scale roof design.
- 4) Heavy eave projections for interest and shadow lines.
- 5) Heavy texture roof finish.
- 6) Stucco requirement (Predominant wall finish material).
- 7) Stone distribution.
- 8) Garage stepped back.
- 9) Maximum height restriction
(See Paragraph 4.1 of ACC.)
- 10) Wood accents.
- 11) Courtyard wall.



DIAGRAM #

SPYGLASS RIDGE - ARCHITECTURAL DESIGN PRINCIPLES EXAMPLE HOM



DO THIS



Too thin

Thin, spindly column with no character

NOT THIS

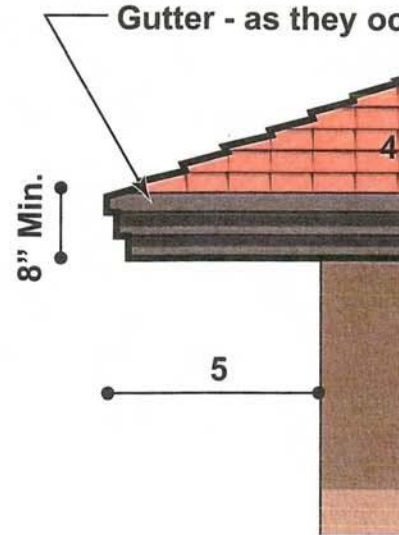
DIAGRAM #3

Artist's Concept

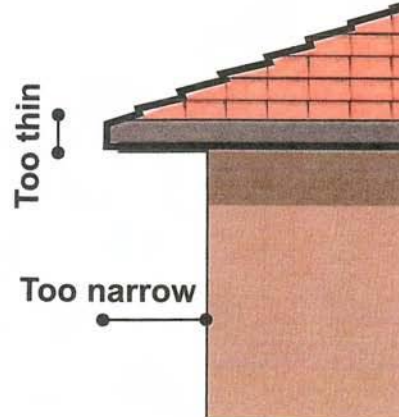
COLUMN TREATMENTS

Notes:

- 1) Stucco or wood.
- 2) Stone.
- 3) Stone cap.
- 4) Heavy texture roof finish (Tile or Architectural Composite Shingle).
- 5) Heavy eave projection (Minimum 24").



DO THIS



NOT THIS

DIA

EAVE TRE

Artist's Concept

Door and Window
Banding 4" minimum
6" is preferred

Eyebrows/lintels/headers
Minimum of 8", up to 12"

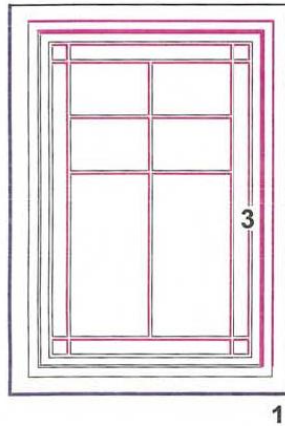


DIAGRAM #5

*Artist's
Concept*

WINDOW BANDING

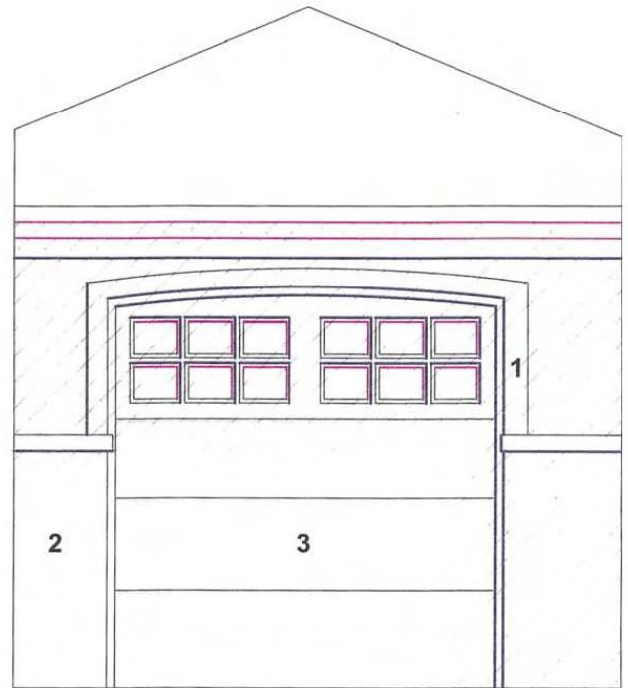


DIAGRAM #4

*Artist's
Concept*

GARAGE DOOR BANDING

Notes:

- 1) Accent banding around windows, doors and garage doors.
- 2) Logical termination for stone at windows, doors and garage doors.
- 3) Wood accent at windows, doors and garage doors.

Revision D

1.2

Top of Foundation Elevation Restrictions



EXHIBIT A SPYGLASS FILING NO. ONE

Required Top of Foundation Minimum & Maximum Elevations, Required Lot Grading Type, House Type

Lot Number	Minimum Elevation	Maximum Elevation	Lot Grading Type	House Type	Lot Number	Minimum Elevation	Maximum Elevation	Lot Grading Type	House Type
64	4833.0	4835.0	A	A	95	4839.5	4841.5	A	B
65	4834.5	4836.5	A	A	96	4839.5	4841.5	A	B
66	4834.5	4836.5	A	A	97	4838.0	4840.0	A	A
67	4835.0	4837.0	A	A	98	4837.0	4839.0	A	A
68	4835.0	4837.0	A	A	99	4835.0	4837.0	A	A
69	4834.0	4836.0	A	A	100	4854.0	4856.0	A	A
70	4833.0	4835.0	A	A	101	4862.0	4864.0	A	A
71	4834.0	4836.0	A	A	102	4867.0	4869.0	A	A
72	4835.1	4837.1	A	A	103	4869.0	4871.0	B	A
73	4835.1	4837.1	A	A	104	4869.0	4871.0	B	A or C
74	4837.0	4839.0	A	A	105	4870.0	4872.0	B	A or C
75	4837.0	4839.0	A	A	106	4870.0	4872.0	A	A
76	4838.0	4840.0	A	A	107	4869.0	4871.0	A	A
77	4839.0	4841.0	A	A	108	4869.5	4871.5	A	A
78	4839.0	4841.0	A	B	109	4869.0	4871.0	A	A
79	4839.0	4841.0	A	B	110	4868.0	4870.0	A	A
80	4839.0	4841.0	A	A	111	4867.0	4869.0	A	A
81	4839.0	4841.0	A	A	112	4869.0	4871.0	A	A
82	4837.0	4839.0	A	B	113	4870.0	4872.0	A	A
83	4837.7	4839.7	A	B	178	4869.0	4871.0	A	A
84	4839.0	4841.0	A	B	179	4869.0	4871.0	A	A
85	4836.0	4838.0	A	B	180	4861.0	4863.0	A	A
86	4836.0	4838.0	A	B	181	4851.0	4853.0	A	A
87	4839.0	4841.0	A	B	182	4838.5	4840.5	C	C
88	4841.0	4843.0	A	B	183	4840.5	4842.5	C	C
89	4841.0	4843.0	A	B	184	4842.5	4844.5	C	C
90	4841.0	4843.0	A	B	185	4842.5	4844.5	C	C
91	4837.0	4839.0	A	A	204	4844.0	4846.0	A	B
92	4837.0	4839.0	A	A	205	4844.0	4846.0	A	B
93	4840.0	4842.0	A	B	206	4841.0	4843.0	A	B
94	4840.0	4842.0	A	B					

NOTES:

- 1) For more details on the Lot Grading Type A, B and C for Filing No. One, consult the drawings by Thompson-Langford Engineers of Grand Junction, dated July 21, 2005 (Also see attached Lot Grading / Drainage Exhibit)
- 2) For more details on House Types A, B and C, see paragraph 4.1 of the Architectural Standards and Guidelines
- 3) Any variance of the minimum and maximum elevations must be approved in writing by the Spyglass Ridge Homeowner's Association, Inc. ACC

Revised 11/7/2014 by DGB

EXHIBIT A SPYGLASS FILING NO. ONE

Required Top of Foundation Minimum & Maximum Elevations, Required Lot Grading Type, House Type

Lot Number	Minimum Elevation	Maximum Elevation	Lot Grading Type	House Type	Lot Number	Minimum Elevation	Maximum Elevation	Lot Grading Type	House Type
64	4833.0	4835.0	A	A	95	4839.5	4841.5	A	B
65	4834.5	4836.5	A	A	96	4839.5	4841.5	A	B
66	4834.5	4836.5	A	A	97	4838.0	4840.0	A	A
67	4835.0	4837.0	A	A	98	4837.0	4839.0	A	A
68	4835.0	4837.0	A	A	99	4835.0	4837.0	A	A
69	4834.0	4836.0	A	A	100	4854.0	4856.0	A	A
70	4833.0	4835.0	A	A	101	4862.0	4864.0	A	A
71	4834.0	4836.0	A	A	102	4867.0	4869.0	A	A
72	4835.1	4837.1	A	A	103	4869.0	4871.0	B	A
73	4835.1	4837.1	A	A	104	4869.0	4871.0	B	A or C
74	4837.0	4839.0	A	A	105	4870.0	4872.0	B	A or C
75	4837.0	4839.0	A	A	106	4870.0	4872.0	A	A
76	4838.0	4840.0	A	A	107	4869.0	4871.0	A	A
77	4839.0	4841.0	A	A	108	4869.5	4871.5	A	A
78	4839.0	4841.0	A	B	109	4869.0	4871.0	A	A
79	4839.0	4841.0	A	B	110	4868.0	4870.0	A	A
80	4839.0	4841.0	A	A	111	4867.0	4869.0	A	A
81	4839.0	4841.0	A	A	112	4869.0	4871.0	A	A
82	4837.0	4839.0	A	B	113	4870.0	4872.0	A	A
83	4837.7	4839.7	A	B	178	4869.0	4871.0	A	A
84	4839.0	4841.0	A	B	179	4869.0	4871.0	A	A
85	4836.0	4838.0	A	B	180	4861.0	4863.0	A	A
86	4836.0	4838.0	A	B	181	4851.0	4853.0	A	A
87	4839.0	4841.0	A	B	182	4838.5	4840.5	C	C
88	4841.0	4843.0	A	B	183	4840.5	4842.5	C	C
89	4841.0	4843.0	A	B	184	4842.5	4844.5	C	C
90	4841.0	4843.0	A	B	185	4842.5	4844.5	C	C
91	4837.0	4839.0	A	A	204	4844.0	4846.0	A	B
92	4837.0	4839.0	A	A	205	4844.0	4846.0	A	B
93	4840.0	4842.0	A	B	206	4841.0	4843.0	A	B
94	4840.0	4842.0	A	B					

NOTES:

- 1) For more details on the Lot Grading Type A, B and C for Filing No. One, consult the drawings by Thompson-Langford Engineers of Grand Junction, dated July 21, 2005 (Also see attached Lot Grading / Drainage Exhibit)
- 2) For more details on House Types A, B and C, see paragraph 4.1 of the Architectural Standards and Guidelines
- 3) Any variance of the minimum and maximum elevations must be approved in writing by the Spyglass Ridge Homeowner's Association, Inc. ACC

Revised 11/7/2014 by DGB

Exhibit A Spyglass Ridge Filing No. Three

Required Top of Foundation Minimum & Maximum Elevations, Required Lot Grading Type, House Type

Lot Number	Minimum Elevation	Maximum Elevation	Lot Grading Type	House Type	Lot Number	Minimum Elevation	Maximum Elevation	Lot Grading Type	House Type
1	4703.68	4705.68	B	B	32	4726.28	4728.28	A	B
2	4705.66	4707.66	B	B	33	4725.81	4727.81	A	B
3	4710.14	4712.14	B	B	34	4725.13	4727.13	A	B
4	4707.65	4709.65	C	B	35	4724.71	4726.71	A	B
5	4705.94	4707.94	C	B	36	4722.71	4724.71	A	B
6	4706.17	4708.17	C	B	37	4716.71	4718.71	A	B
7	4707.73	4709.73	C	B	38	4720.50	4722.50	A	B
8	4711.34	4713.34	C	B	39	4725.77	4727.77	A	B
9	4714.01	4716.01	C	B	40	4723.95	4725.95	A	B
10	4716.68	4718.68	C	B	41	4723.95	4725.95	A	B
11	4719.35	4721.35	C	B	42	4723.65	4725.65	B	B
12	4721.88	4723.88	C	B	43	4722.67	4724.67	B	B
13	4723.63	4725.63	C	B	44	4721.79	4723.79	B	B or C
14	4725.70	4727.70	C	B	45	4708.96	4710.96	A	B or C
15	4726.48	4728.48	A	B	46	4704.30	4706.30	A	B
16	4726.15	4728.15	A	B	47	4757.54	4759.54	C	B
17	4725.59	4727.59	A	B	48	4757.72	4756.72	C	B
18	4724.99	4726.99	A	B	49	4754.81	4756.81	B	B
19	4724.31	4726.31	A	B	50	4755.48	4757.48	A	B
20	4720.77	4722.77	A	B	51	4761.28	4763.28	A	B
21	4716.91	4718.91	A	B	52	4769.06	4771.06	A	B
22	4714.05	4716.05	A	B	53	4771.21	4773.21	A	B
23	4710.10	4712.10	A	B	54	4774.43	4776.43	A	B
24	4714.59	4716.59	A	B	55	4774.99	4776.99	A	B
25	4725.78	4727.78	A	B	56	4775.24	4777.24	A	B
26	4716.69	4718.69	A	B	57	4775.45	4777.45	A	B
27	4718.45	4720.45	A	B	58	4775.25	4777.25	C	B
28	4756.08	4758.08	A	B	59	4775.01	4777.01	C	B
29	4748.74	4750.74	A	B	60	4774.62	4776.62	B	B
30	4730.24	4732.24	A	B	61	4768.72	4770.72	B	B
31	4727.59	4729.59	A	B	62	4763.06	4765.06	B	B

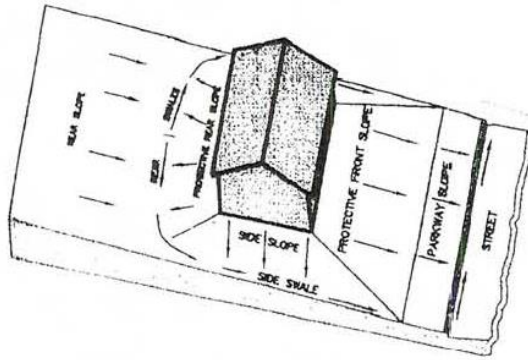
Notes:

- 1) For more details on the Lot Grading Type A, B and C for Filing No. Three, consult the drawings by River City Consultants, Inc. of Grand Junction, dated May 14, 2007 (Also see attached Lot Grading/Drainage Exhibit)
- 2) For more details on House Types A, B and C, see Paragraph 4.1 of the Architectural Standards and Guidelines
- 3) Any variance of the minimum and maximum elevations must be approved in writing by the City of Grand Junction Planning Department AND the Spyglass Ridge Homeowner's Association, Inc. ACC

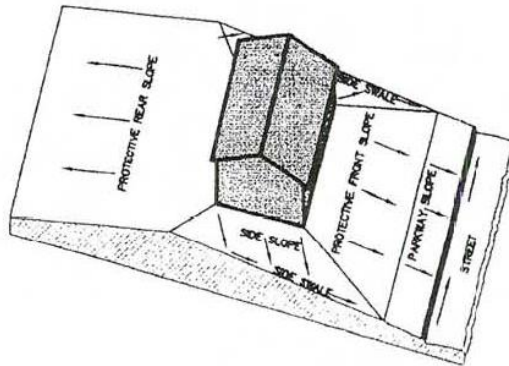
Revised 11-10-10

Diagram 8

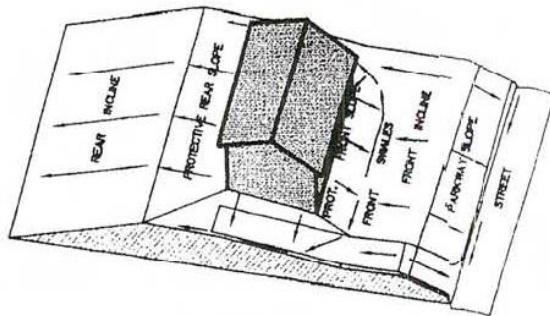
Lot Grading/Drainage for Types A, B and C
Spyglass Ridge Subdivision



LOT GRADING - TYPE A
ALL DRAINAGE TO STREET



LOT GRADING - TYPE B
DRAINAGE BOTH TO STREET
AND TO REAR LOT LINE



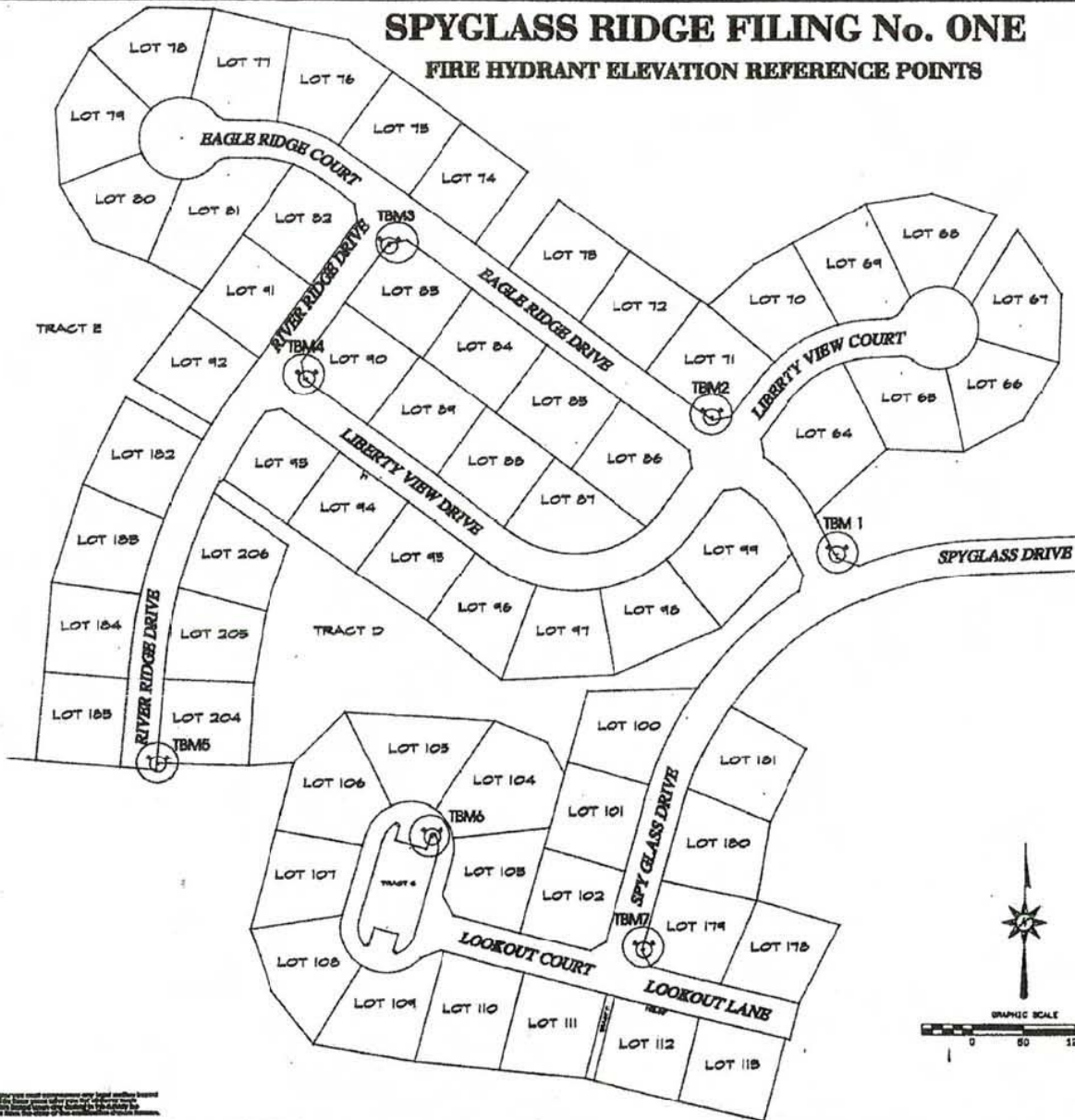
LOT GRADING - TYPE C
ALL DRAINAGE TO REAR LOT LINE

Note: For more details on the Lot Grading/Drainage Types A, B and C consult the drawings b Thompson-Langford Engineers of Grand Junction date 7/21/2005 for Filing No. One and 4/15/2006 for Filing No. Two and drawings by River City Consultants, Inc. of Grand Junction date 5/14/2007 for Filing No. Three.

Revision Date: 11/10/10

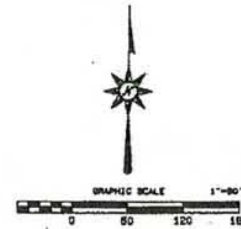
SPYGLASS RIDGE FILING No. ONE

FIRE HYDRANT ELEVATION REFERENCE POINTS



- TBM1 4826. 39
- TBM2 4834. 03
- TBM3 4838. 90
- TBM4 4840. 37
- TBM5 4845. 53
- TBM6 4871. 62
- TBM7 4868. 23

Exhibit A



SPYGLASS RIDGE FILING No. ONE

SECTION	FILED	INDEX	DATE	TIME	RECORDS OFF
THOMPSON-LANGFORD CORPORATION					
229 25 1/2 ROAD - S-210 (877) 243-0037					
Grand Junction CO 81508 tl@tlwest.com					
Drawn by	Checked by	Approved by	Scale	Revision	Date
Chadwick Hill	Chadwick Hill	Chadwick Hill	1"=50'	1	10/20/08
1/2"=1"=50'					

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